

An  
Bord  
Pleanála

## **Strategic Housing Development**

### **Application Form**

#### **Before you fill out this form**

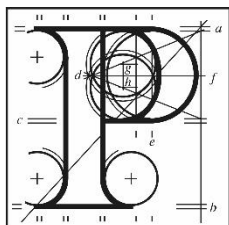
Please note that failure to complete this form or attach the necessary documentation, or the submission of incorrect information or omission of required information, will lead to An Bord Pleanála refusing to deal with your application. Therefore, ensure that each section of this request form is fully completed and signed, entering n/a (not applicable) where appropriate, and that all necessary documentation is attached to the application form. You are advised to refer to the “General Guidance Note” provided on pages 27 to 29 prior to completing this form.

#### **Other Statutory Codes**

An applicant will not be entitled solely by reason of a planning permission to carry out the development. The applicant may need other statutory consents, depending on the type of development. For example, all new buildings, extensions and alterations to, and certain changes of use of existing buildings must comply with building regulations, which set out basic design and construction requirements

## **Data Protection**

It is the responsibility of persons or entities wishing to use any personal data on a planning application form for direct marketing purposes to be satisfied that they may do so legitimately under the requirements of the Data Protection Acts 1988 and 2003. The Office of the Data Protection Commissioner state that the sending of marketing material to individuals without consent may result in action by the Data Protection Commissioner against the sender, including prosecution.



An  
Bord  
Pleanála

## Application Form in respect of a Strategic Housing Development

**Contact details for sections 1 to 4 to be supplied in Section 26 of this form.**

**1. Applicant:**

Name of Applicant:	Serendale Limited
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**2. Where the Applicant is a Company (Registered under the Companies Acts):**

Registered Address of Company:	Serendale Limited 5th Floor Embassy House Herbert Park Lane Ballsbridge Dublin 4 D04 H6Y0
Company Registration No:	646176

**3. Name of Person/Agent (if any) Acting on Behalf of the Applicant:**

Name:	Blaine Cregan, John Spain Associates
Is An Bord Pleanála to send all correspondence to the above person/agent acting on behalf of the applicant? (Please tick appropriate box)	Yes: [ X ] No: [ ] (Please note that if the answer is "No", all correspondence will be sent to the applicant's address)

**4. Person Responsible for Preparation of Drawings and Plans:**

Name:	Lucy Riordan
Firm/Company:	John Flemming Architects

## 5. Planning Authority

Name of the Planning Authority(s) in whose functional area the site is situated:	Dublin City Council
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## 6. Site of Proposed Strategic Housing Development:

Postal Address /Townland/ Location of the Proposed Development (sufficient to identify the site in question):	
Address Line 1:	North west corner of the Omni Park Shopping Centre, Santry and Santry Hall Industrial Estate
Address Line 2:	
Address Line 3:	Swords Road
Town/City:	Dublin 9
County:	Dublin
Eircode:	D09 FX31 + D09 HC84
Ordnance Survey Map Ref. No. (and the Grid Reference where available)	See attached 1:2500 OS Map CENTRE COORDINATES: ITM 716487,739661  MAP SHEETS: 3132-06, 3132-07, 3132-11, 3132-12
Where available, please provide the application site boundary, as shown in the submitted plans / drawings, as an ESRI shapefile in the Irish Transverse Mercator (ITM IREN95) co-ordinate reference system. Alternatively, a CAD file in .dwg format, with all geometry referenced to ITM, may be provided.	



Area of site to which the application relates in hectares:	2.5 ha
Site zoning in current Development Plan or Local Area Plan for the area:	Z4 zoning objective (District Centre)
Existing use(s) of the site and proposed use(s) of the site:	Existing transport depot and warehouse  Proposed: residential mixed use (retail/café/restaurant, childcare and community)

## 7. Applicant's Interest in the Site:

Please tick appropriate box to show the applicant's legal interest in the land or structure:	Owner	Occupier	Other
	X		X
Where legal interest is "Other", please expand further on the applicant's interest in the land or structure:			
<p>Serendale Limited is part owner and is the applicant and has the consent of the following entities:</p> <ol style="list-style-type: none"> <li>1. MKN Investments limited</li> <li>2. Ambasaid Limited</li> <li>3. Caltrack Limited</li> </ol> <p>The above letters are enclosed as Appendix 1 of this Application Form.</p>			
<p>State Name and Address of the Site Owner:</p> <p><b>If the applicant is not the legal owner</b>, please note that you are required to supply a letter of consent, signed by the site owner.</p>	<ul style="list-style-type: none"> <li>• Serendale Limited, 5th Floor, Embassy House, Herbert Park Lane, Ballsbridge, Dublin 4, D04 H6Y0</li> <li>• MKN Investments Limited, Unit 18/19 the Seapoint Building, 44/45 Clontarf Road, Dublin 3, Dublin, D03 XD77</li> <li>• Ambasaid Limited, Goodbody Stockbrokers, Ballsbridge Park, Ballsbridge, Dublin 4, D04 YW83</li> <li>• Caltrack Limited, 5th Floor, Embassy House, Herbert Park Lane, Ballsbridge, Dublin 4 , D04 H6Y0</li> </ul>		
Does the applicant own or control adjoining, abutting or adjacent lands?		Yes: [ x ] No: [ ]	

If the answer is “Yes” above, identify the lands and state the nature of the control involved:

Please see enclosed Site Location Map which illustrates the nature of the Applicant’s (and associated entities) ownership in blue.

## 8. Site History:

Is the applicant aware of any valid planning applications or An Bord Pleanála decisions previously made in respect of this land / structure?		Yes: [ X ] No: [ ]
<p><b>Note:</b> If an application for permission for strategic housing development or a planning application under section 34 of the Planning and Development Act 2000 has been made in respect of this site in the 6 months prior to the submission of this application, the site notice for the current application in respect of strategic housing development must be on a yellow background.</p>		
If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):		
Reg. Ref. No. / An Bord Pleanála Ref. No.	Nature of Proposed Development	Final Decision by Planning Authority / An Bord Pleanála
DCC Reg. Ref 2450/13	The development will consist of the increase in height of the existing Cold Store Building and construction of a new delivery Building at the side of the existing building.	Granted by DCC
DCC Reg. Ref. 2151/12	Change of use from light industrial use to recreational use, new signage and all ancillary site works. The current building use is a cold storage facility and the intended use is an ice sports training centre.	Granted by DCC
Is the site of the proposed development subject to a current appeal to An Bord Pleanála?		Yes: [ ] No: [ X ]

If the answer is "Yes" above, please specify the An Bord Pleanála reference no.:	
Is the applicant aware of any other relevant recent planning applications or decisions by An Bord Pleanála in relation to adjoining or adjacent sites?	Yes: [ <input checked="" type="checkbox"/> ] No: [ <input type="checkbox"/> ]
If the answer is "Yes" above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):	
SHD Reg. Ref. ABP-307011-20 'Omni Living' ABP granted planning permission for the demolition of existing structures at Lands to the northeast of Omni Park Shopping Centre including vacant warehouse, Swords Road, Santry, Dublin 9, construction of 324 no. apartments, creche and associated site works on 3rd of September 2020. The permitted development ranged between 5 no. storeys to 12 no. storeys in height.	
Is the applicant aware of the site ever having been flooded?	Yes: [ <input type="checkbox"/> ] No: [ <input checked="" type="checkbox"/> ]
If the answer is "Yes" above, please give details e.g. year, extent:	
Is the applicant aware of previous uses of the site e.g. dumping or quarrying?	Yes: [ <input type="checkbox"/> ] No: [ <input checked="" type="checkbox"/> ]
If the answer is "Yes" above, please give details:	



## 9. Description of the Proposed Strategic Housing Development:

Please provide a brief description of the nature and extent of the proposed development, including-

- the proposed types and numbers of houses, student accommodation or both,
- in the case of student accommodation units, the combined number of bedspaces, and any other uses to which those units may be put,
- proposed services ancillary to residential development,
- other proposed uses in the development of the land, the zoning of which facilitates such use, and
- where an Environmental Impact Assessment Report or Natura Impact Statement has been prepared in respect of the application, an indication of that fact.

Serendale Limited intend to apply to An Bord Pleanála for permission for a Strategic Housing Development of 7 years in duration at this site located primarily to the north west corner of Omni Park Shopping Centre, Santry and at Santry Hall Industrial Estate, Swords Road, Dublin 9 D09FX31 and D09HC84. The lands primarily comprise the former Molloy & Sherry Industrial / Warehouse premises and lands generally to the north west corner of the Omni Park Shopping Centre including revisions to part of existing surface carpark to facilitate a new public plaza. The site is c.2.5 ha in size and located primarily to the west of Lidl and to the north and east of the IMC Cinema within the Omni Park Shopping Centre and east of Shanliss Avenue.

The proposed development comprises:

The demolition of existing buildings (including 2 no. ESB sub stations) and the construction of a mixed use residential (457 apartments) and commercial development ranging in height from 4 to 12 storeys over basement in four blocks, with internal residential amenity space, childcare facility, community building and two retail/café/restaurant units.

The overall residential unit mix proposed comprises: 1 no. studio apartment, 221 no. 1-bed apartments, 211 no. 2-bed apartments and 24 no. 3-bed apartments.

The residential Blocks are broken down as follows:

- Block A: comprises 83 No. units from 4 to 8 storeys in height;
- Block B: comprises 76 No. units from 4 to 8 storeys in height;
- Block C: comprises 165 No. units from 9 to 12 storeys in height;
- Block D: comprises 133 No. units from 10 to 11 storeys in height;

The proposed development will also provide for: 2 no. retail/café/restaurants totalling 430.9 sq.m; 1 no residential amenity space of 604.9 sq.m; 1 no. creche of 225.7 sq.m. (plus playground of 210 sq.m.); and 1 no. community space of 195.3 sq.m.

Public realm improvements and amenity facilities to include:

1. Upgrade of existing footpaths to provide 2 no. new shared surface access routes through the existing Omni Park Shopping Centre development providing direct access for pedestrians and cyclists to the subject development from the Swords Road and Omni Park Shopping Centre.
2. Provision of a new public plaza to the northeast corner of Omni Park Shopping Centre, providing access to the Swords Road including pedestrian and cyclist

access route (as substantially permitted under planning permission ref: ABP-307011-20).

3. Provision of a new public plaza to the northwest corner of existing Omni Park Shopping Centre integrating the proposed development with the existing district centre lands, provision of which shall require amendments to existing carpark layout and a reduction of 104 no. existing commercial car parking spaces.
4. Public and communal open spaces (incl. 2 no. playgrounds) and internal communal residential amenity for the residential development and private residential amenity in the form of terraces and balconies to all elevations.

The development will include provision of access to a basement via a ramp to be located within the Omni Park Shopping Centre development proximate to the IMC Cinema. The provision of 768 no. bicycle parking spaces (504 at basement and 264 at surface).

The provision of 213 no. basement car parking spaces including 11 No. accessible spaces and 22 No. EV charging points. In addition, 7 no. motorcycle parking spaces are provided at basement.

The development also entails the reconfiguration of existing car parking to the northwest of Omni Park Shopping Centre with a net reduction of 104 no. commercial car parking spaces to allow for the provision of a new public plaza. Reconfiguration shall provide for the provision of 7 no. creche drop-off spaces and 6 no. carshare spaces to facilitate the proposed development.

Emergency services / servicing access to the rear of existing retail premises at Omni Park Shopping Centre from the Swords Road.

Provision of 5 no. ESB Substations including the relocation of an existing substation.

All associated and ancillary site development, demolition and clearance works, hoarding during construction, revisions to car parking within the Omni Park Shopping Centre, soft and hard landscaping, public realm works, public lighting and signage, ancillary spaces, plant including photovoltaic panels, water infrastructure, utilities and services.

An Environmental Impact Assessment Report has been prepared in respect of the application and accompanies this application.

Please submit a site location map sufficient to identify the land, at appropriate scale.	<b>Enclosed:</b> Yes: [ X ] No: [   ]
Please submit a layout plan of the proposed development, at appropriate scale.	<b>Enclosed:</b> Yes: [ X ] No: [   ]

## 10. Pre-Application Consultations

### (A) Consultation with Planning Authority:

State the date(s) and planning authority reference number(s) of the consultation meeting(s) held with the planning authority under section 247 of the Planning and Development Act 2000:

Planning Authority reference number:	<u>ABPSHDPAC0026/21</u>
Meeting date(s):	16 <sup>th</sup> March 2021 (11:00am)

**(B) Consultation with An Bord Pleanála:**

State the date(s) and An Bord Pleanála reference number(s) of the pre-application consultation meeting(s) with An Bord Pleanála:

An Bord Pleanála reference number:	ABP-312202-22
Meeting date(s):	<b>28th April 2022</b>

**(C) Any Consultation with Prescribed Authorities or the Public:**

Provide details of any other consultations the applicant had with authorities prescribed under section 8(1)(b) and (c) of the Act of 2016 or with the public:

Confirmation of Feasibility (dated 1<sup>st</sup> December 2021) & Statement of Design Acceptance (dated 7 July 2022) have been received from Irish Water for the development (IW Ref CDS21003688). In addition email correspondence with Irish Water has taken place between May-August and is set out in Appendix E of the EirEng Engineering Planning Report (EPR) outlines – ‘Project Timeline & Irish Water Correspondence’. A meeting was held with Irish Water on Thursday 18<sup>th</sup> August 2022 to discuss the application. Following this meeting letter of clarity issued by IW and is enclosed within Appendix 2 of this application form.

JSA has consulted with the IAA via email and telephone call 25<sup>th</sup> August 2022, following this the IAA issued a letter included as Appendix 4 of this Application form.

## 11. Application Requirements

(a) Is a copy of the page from the newspaper containing the notice relating to the proposed strategic housing development enclosed with this application?		<b>Enclosed:</b> Yes: [ X ] No: [ ]
If the answer to above is "Yes", state name(s) of newspaper(s) and date(s) of publication:	25th August 2022 published in the Irish Daily Mail	
(b) Is a copy of the site notice relating to the proposed development enclosed with this application?		<b>Enclosed:</b> Yes: [ X ] No: [ ]
If the answer to above is "Yes", state date on which the site notice(s) was erected:		24 <sup>th</sup> August 2022
<b>Note:</b> The location of the site notice(s) should be shown on the site location map enclosed with this application.		
(c) Is an Environmental Impact Assessment Report (EIAR) required for the proposed development?		Yes: [ X ] No: [ ]
If the answer to above is "Yes", is an EIAR enclosed with this application?		<b>Enclosed:</b> Yes: [ X ] No: [ ]
Please provide a copy of the <b>Confirmation Notice</b> obtained from the EIA Portal where an EIAR accompanies the application.		<b>Enclosed:</b> Yes: [ X ] No: [ ] Please see Appendix 3 of Application form.
(d) Is the proposed development, in whole or in part, within or close to a European site or Natural Heritage Area?		Yes: [ ] No: [ X ]
(e) Is a Natura Impact Statement (NIS) required for the proposed development?		Yes: [ ] No: [ X ]
If the answer to above is "Yes", is an NIS enclosed with this application?		Yes: [ ] No: [ ] <b>N/A</b>



(f) Has a copy of this application, and any EIAR and/or NIS required, been sent to the relevant planning authority, in both printed and electronic form?	Yes: [ X ] No: [ ]
(g) Has a copy of this application, and any EIAR and/or NIS required, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant prescribed authorities, in both printed and electronic format?	Yes: [ X ] No: [ ] N/A: [ ]
If the answer to the above is "Yes", list the prescribed authorities concerned:	1. Irish Water 2. Transport Infrastructure Ireland 3. National Transport Authority 4. Dublin City Childcare Committee 5. Irish Aviation Authority 6. Dublin Airport Operator 7. Fingal County Council
If the answer to the above is "Yes", state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:	26 <sup>th</sup> August 2022
(h) Is the proposed development likely to have significant effects on the environment of a Member State of the European Union or a state that is a party to the Transboundary Convention?	Yes: [ ] No: [ X ]
If the answer to the above is "Yes", has a copy of this application, and the accompanying EIAR, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant authority in the state or states concerned, in both printed and electronic format?	Yes: [ ] No: [ ]  <b>N/A</b>
If the answer to the above is "Yes", list the state(s) and the prescribed authorities concerned:	<b>N/A</b>
If the answer to the above is "Yes", state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:	<b>N/A</b>

## 12. Statements Enclosed with the Application Which:

(a) Set out how the the proposed strategic housing development is consistent with the relevant objectives of the relevant development plan:	<b>Enclosed:</b> Yes: [ X ] No: [ ] Please see JSA Statement of Consistency
<b>Note:</b> The statement should be accompanied by a list of each relevant development plan objective considered by the prospective applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.	
(b) Set out, where applicable how the proposed strategic housing development will be consistent with the objectives of the relevant local area plan:	<b>Enclosed:</b> Yes: [ ] No: [ ] <b>N/A</b> <b>No LAP relevant.</b>
<b>Note:</b> The statement should be accompanied by a list of each relevant local area plan objective considered by the prospective applicant in making the statement and any proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.	
(c) Set out, where applicable that the proposed strategic housing development is, in the applicant's opinion, consistent with the planning scheme for a strategic development zone:	<b>Enclosed:</b> Yes: [ ] No: [ ] N/A: [ X ] Not subject to SDZ.
<b>Note:</b> The statement should be accompanied by a list of the principal provisions of the planning scheme considered by the prospective applicant in making the statement.	
(d) Set out how the the proposed strategic housing development is, in the applicant's opinion, consistent with any relevant guidelines issued by the Minister under section 28 of the Act of 2000:	<b>Enclosed:</b> Yes: [ X ] No: [ ] N/A: [ ] Please see JSA Statement of Consistency
<b>Note:</b> The statement should be accompanied by a list of the guidelines considered by the applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with the guidelines.	
(e) Where An Bord Pleanála notified the applicant of its opinion that the documents enclosed with the request	<b>Enclosed:</b> Yes: [ X ] No: [ ]

for pre-application consultations required further consideration and amendment in order to constitute a reasonable basis for an application for permission, a statement setting out any changes made to the proposals in consequence.	N/A: [   ] <b>Please see statement of Response prepared by JSA</b>
(f) Where An Bord Pleanála notified the applicant that specified additional information should be submitted with any application for permission, a statement setting out that such information accompanies the application.	<b>Enclosed:</b> Yes: [ X ] No: [   ] N/A: [   ] <b>Please see statement of Response prepared by JSA</b>

### 13. Material Contravention of Development Plan/Local Area Plan:

Where the proposed strategic housing development materially contravenes the relevant development plan or local area plan other than in relation to the zoning of land, is a statement included with the application indicating the plan objective concerned and why permission should, nonetheless, be granted, having regard to a consideration specified in section 37(2)(b) of the Act of 2000?	<b>Enclosed:</b> Yes: [ X ] No: [   ]  <b>Please see JSA Material Contravention Statement</b>
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### 14. Proposed Residential Development:

- (a) Provide a breakdown of the proposed residential content of the strategic housing development, as follows:

Houses		N/A
Unit Type	No. of Units	Gross floor space in m <sup>2</sup>
1-bed		
2-bed		
3-bed		
4-bed		
4+ bed		
<b>Total</b>		

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Apartments		
Unit Type	No. of Units	Gross floor space in m <sup>2</sup>
Studio	1	50.8
1-bed	221	11180.2
2-bed	211	16765.7
3-bed	24	2370.6
4-bed		0
4+ bed		0
<b>Total</b>	457	30367.3 (units only, excludes circulation & amenity)

Student Accommodation <b>N/A</b>			
Unit Types	No. of Units	No. of Bedspaces	Gross floor space in m <sup>2</sup>
Studio			
1-bed			
2-bed			
3-bed			
4-bed			
4+ bed			
<b>Total</b>			

(b) State total number of residential units in proposed development:	<b>457</b>
(c) State cumulative gross floor space of residential accommodation, in m <sup>2</sup> :	30,367.3 (units only, excludes circulation & amenity)

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**15. Proposed Ancillary and Other Uses in the Proposed Strategic Housing Development:**

(a) Please provide details of the different classes of development proposed as ancillary to residential development and other uses on the land, the zoning of which facilitates such uses, as follows:	
<b>Class of Development:</b>	<b>Gross Floor Space in m<sup>2</sup></b>
<b>Non Residential</b>	
Childcare facility 37 no. of childcare spaces	225.7
2 no. retail/café/restaurant units	430.9
Community space	195.3
<b>Ancillary residential</b>	
Internal residential amenity	604.9
<p>Note - The revisions to the existing Omni Park Shopping Centre car parking are considered not to comprise floor space which would contribute to non residential floor area, as the proposals involve reconfiguration of existing <u>surface</u> car parking spaces. However; should this be considered to contribute to the non residential floor area, the total area would be 3,393 sq.m. and when taken in combination with the above uses, the 4,500 sq.m. threshold is not exceeded, the 15 sq.m./units (6,855 sq.m.) is not exceeded and the 15% of gross floor area is not exceeded</p>	
<p><b>Note:</b> Where it is not proposed to provide one childcare facility for each 75 houses in the proposed development, the application should be accompanied by a statement of the rationale for this.</p>	
(b) State cumulative gross floor space of non-residential development in m <sup>2</sup> :	851.9 (Excl res amenity & car park)
(c) State cumulative gross floor space of residential accommodation and other uses in m <sup>2</sup> :	48730.3 (Full dev incl basement excl surface car park)
(d) Express 15(b) as a percentage of 15(c):	1.7%

## 16. Strategic Housing Development Details:

**Note:** If the answer to any of the below statements is “Yes”, please submit a brief statement in support of your application.

Please tick appropriate box:	Yes	No
(a) Are details of housing density, plot ratio, site coverage, building heights, proposed layout and aspect enclosed with the application?	X	
(b) Are details of public and private open space provision, landscaping, play facilities, pedestrian permeability, vehicular access and parking provision, where relevant, enclosed with the application?	X	
(c) Are details of any proposals to address or, where relevant, integrate the proposed development with surrounding land uses enclosed with the application?	X	
(d) Are details of any proposals to provide for services infrastructure other than water, such as cabling (including broadband provision) and any phasing proposals enclosed with the application?	X	
(e) Does the proposed development include an activity requiring an integrated pollution control licence or a waste licence?  If “Yes”, enclose a brief explanation with this application.		X
(f) Does the proposed development involve the demolition of any structure (including a habitable house), in whole or in part?  If “Yes”, enclose a brief explanation with this application.	X	
(g) Does the proposed development involve the demolition of a Protected Structure(s), in whole or in part?		X

<p>If "Yes", an explanation as to the need for the demolition of a Protected Structure(s) should be enclosed with this application.</p>		
<p>(h) Does the proposed development consist of work to a Protected Structure and/or its curtilage or proposed Protected Structure and/or its curtilage?</p> <p>If "Yes", provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		X
<p>(i) Does the proposed development consist of work to the exterior of a structure which is located within an architectural conservation area (ACA)?</p> <p>If "Yes", provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		X
<p>(j) Does the proposed application development affect, or is close to, a national monument or place in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht or a local authority, or is it the subject of a preservation order or temporary preservation order under the National Monuments Acts 1930 to 2014?</p> <p>If "Yes", enclose a brief explanation with this application.</p>		X
<p>(k) Is the proposed development in a Strategic Development Zone?</p> <p>If "Yes", enclose a statement of how the proposed development is consistent with the planning scheme for the Zone.</p>		X
<p>(l) Do any statutory notices (e.g. Fire Safety, Enforcement, Dangerous Buildings, Derelict Sites, Building Control, etc.) apply to the site and/or any building thereon?</p> <p>If "Yes", enclose details with this application.</p>		X

(m) Do the Major Accident Regulations apply to the proposed development?		X
<p>(n) Is information specified by An Bord Pleanála as necessary for inclusion in any application for permission for the proposed development, so included?</p> <p>If “Yes”, give details of the specified information accompanying this application.</p>	<p>X</p> <p>Please see JSA Cover Letter for Schedule of documents</p>	



**17. Where the Proposed Development Relates to Existing Building(s) / Structure(s):**

State gross floor space of any existing building(s) / structure(s) in m <sup>2</sup> :	6473.3
State gross floor space of any proposed demolition, in m <sup>2</sup> :	6473.3
State gross floor space of any building(s) / structure(s) to be retained in m <sup>2</sup> :	0
State total gross floor space of proposed works in m <sup>2</sup> :	<b>48,730.3</b>

**18. Where the Application relates to Material Change of Use of Land or Structure:**

(a) State existing use of land or structure:	Existing transport depot and warehouse
(b) Where the existing land or structure is not in use, state the most recent authorised use of the land or structure:	n/a
(c) State proposed use(s):	Proposed: residential mixed use
(d) State nature and extent of any such proposed use(s):	Site to be used as predominately residential with community, creche and retail/café/restaurant uses.
<p>(e) Plans (including a site or layout plan and drawings of floor plans, elevations and sections that comply with the requirements of Article 297 and 298) and other particulars required describing the works proposed should be enclosed with this application:</p> <p><b>Enclosed:</b> Yes: [ X ] No: [ ] N/A: [ ]</p>	

## 19. Social Housing (Part V)

Please tick appropriate box:	Yes	No
(a) Does Part V of the Planning and Development Act 2000 apply to the proposed development?	X	
(b) If the answer to Question 19(A) is “Yes”, are details enclosed as to how the applicant proposes to comply with section 96 of Part V of the Act including, for example—  (i) details of such part or parts of the land for the proposed development or is or are specified by the Part V agreement, or houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and	X	
(ii) details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and	X	
(iii) a layout plan showing the location of proposed Part V units in the development?	X	
(c) If the answer to Question 19(A) is “No” by virtue of section 96(13) of the Planning and Development Act 2000, details must be enclosed with this application form indicating the basis on which section 96(13) is considered to apply to the development.	n/a	

## 20. Water Services:

### (A) Proposed Source of Water Supply:

Please indicate as appropriate:

(a) Existing Connection: ☐ New Connection: ☒

(b) Public Mains: ☒

Group Water Scheme: ☐ Name of Scheme: \_\_\_\_\_

Private Well: ☐

Other (please specify): \_\_\_\_\_

### (B) Proposed Wastewater Management / Treatment:

Please indicate as appropriate:

(a) Existing Connection: ☒ New Connection: ☐

(b) Public Sewer: ☒

Conventional septic tank system: ☐

Other on-site treatment system (please specify): \_\_\_\_\_

Where the disposal of wastewater for the proposed development is other than to a public sewer, provide information on the on-site treatment system proposed and evidence as to the suitability of the site for the system proposed:

### (C) Proposed Surface Water Disposal:

Please indicate as appropriate:

(a) Public Sewer/Drain: ☒

Soakpit: ☐

Watercourse: ☐

Other (please specify): \_\_\_\_\_

<b>(D) Irish Water Requirements:</b>	
<p>Please submit the following information:</p> <p>(a) Where the proposed development has the potential to impact on a public water supply source, irrespective of whether or not a connection to a water/wastewater network is required, this application must be accompanied by evidence of engagement with Irish Water and its outcome.</p>	<p><b>Enclosed:</b></p> <p>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></p> <p><b>Confirmation of Feasibility and Statement of Design Acceptance from Irish Water enclosed (IW Ref: CDS21003688).</b></p>
<p>(b) A current/valid Confirmation of Feasibility Statement from Irish Water in relation to the proposed development confirming that there is or will be sufficient water network treatment capacity to service the development.</p>	<p><b>Enclosed:</b></p> <p>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></p> <p><b>Please see Appendix 2 of this Application form and Engineering Planning Report (IW Ref: CDS21003688).</b></p>
<p>(c) A Statement of Compliance with Irish Water's Standard Details and Codes of Practice for water and/or wastewater infrastructure proposals (designs, layouts, etc.).</p>	<p><b>Enclosed:</b></p> <p>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></p> <p><b>Please see Appendix 2 of this Application form and Engineering Planning Report (IW Ref: CDS21003688).</b></p>
<p>(d) An indication of timelines and phasing for water demand or wastewater collection requirements, or both, as appropriate.</p>	<p><b>Enclosed:</b></p> <p>Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/></p> <p><b>Please see Appendix 2 of this Application form and Engineering Planning Report (IW Ref: CDS21003688).</b></p>
<p>(e) Where the proposed development will impact on assets of Irish Water, details of proposals for protection or diversion of such assets.</p>	<p><b>Enclosed:</b></p> <p>Yes: <input type="checkbox"/> No: <input type="checkbox"/></p> <p>N/A</p>

	No Irish Water assets identified within site.
--	---

## 21. Traffic and Transportation

(a) Is a Traffic / Transportation Impact Assessment included with the application, having regard to the relevant Development Plan / Local Area Plan requirements and the Traffic Management Guidelines (DoT / DoEHLG / DTO, 2003)?	<b>Enclosed:</b> Yes: [ X ] No: [   ] Please see NRB Transport Assessment
(b) Is a Travel Plan included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	<b>Enclosed:</b> Yes: [ X ] No: [   ] Please see NRB Transport Assessment
(c) Is a Road Safety Audit included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?	<b>Enclosed:</b> Yes: [ X ] No: [   ] Please see NRB Transport Assessment Appendix

## 22. Taking in Charge

Is it intended that any part of the proposed development will be taken in charge by the planning authority?	Yes: [   ] No: [ X ]
If the answer is "Yes", please attach site plan clearly showing area(s) intended for taking in charge.	

## 23. Maps, Plans and Drawings

List in a schedule accompanying this application all maps, plans and drawings enclosed with the application, stating title, scale and number.
---

**24. Application Fee:**


(a) State fee payable for application:	<b>€79,900.40</b>
(b) Set out basis for calculation of fee:	Residential units: 457 x 130 = €59,410  Non-residential floorspace 1,457 x €7.20 = €10,490.4  EIAR = €10,000
(c) Is the fee enclosed with the application?	<b>Enclosed:</b> Yes: [ X ] No: [ ]

**25. Universal Design:**

Please provide a statement as to how the proposed Strategic Housing Development has sought to comply with the principles of Universal Design (to encourage access and use of the development regardless of age, size, ability or disability). For assistance and general information on such matters please refer for example to the National Disability Authority's "Building for Everyone: A Universal Design Approach" and "Universal Design Guidelines for Homes in Ireland" at <a href="http://www.universaldesign.ie">www.universaldesign.ie</a>	<b>Enclosed:</b> Yes: [ X ] No: [ ]  Please see JFA Universal Design Statement
--	---

### Declaration

I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct and accurate and fully compliant with the requirements of the Planning and Development Act 2000 and Chapter 1 of Part 2 of the Planning and Development (Housing) and Residential Tenancies Act 2016 and the Regulations made thereunder. In this regard, I also hereby declare that, to the best of my knowledge and belief, the copies of the application documents sent to the planning authority, prescribed bodies, etc., and displayed on any website under the applicant's control are identical to the application documents being deposited with An Bord Pleanála.

Signed: (Applicant or Agent as appropriate)	
Date:	26 <sup>th</sup> August 2022

## 26. Contact Details- Not to be Published

### Applicant(s):

<b>First Name:</b>	Raymond
<b>Surname:</b>	Martin
<b>Address Line 1:</b>	5th Floor
<b>Address Line 2:</b>	Embassy House
<b>Address Line 3:</b>	Herbert Park Lane
<b>Town / City:</b>	Ballsbridge
<b>County:</b>	Dublin 4
<b>Country:</b>	Ireland
<b>Eircode:</b>	D04 H6Y0
<b>E-mail address (if any):</b>	<a href="mailto:raymond@mknpropertygroup.com">raymond@mknpropertygroup.com</a>
<b>Primary Telephone Number:</b>	087 6753971
<b>Other / Mobile Number (if any):</b>	

### Where the Applicant(s) is a Company:

<b>Name(s) of Company Director(s):</b>	John McKeon and Brian Kennedy
<b>Company Registration Number (CRO):</b>	646176
<b>Contact Name:</b>	Raymond Martin
<b>Primary Telephone Number:</b>	087-6753971
<b>Other / Mobile Number (if any):</b>	
<b>E-mail address:</b>	raymond@mknpropertygroup.com

### Person/Agent (if any) acting on behalf of the Applicant(s):

<b>First Name:</b>	Blaine
<b>Surname:</b>	Cregan
<b>Address Line 1:</b>	John Spain Associates
<b>Address Line 2:</b>	39 Fitzwilliam Place,
<b>Address Line 3:</b>	Dublin 2.
<b>Town / City:</b>	
<b>County:</b>	Dublin
<b>Country:</b>	Ireland
<b>Eircode:</b>	D02 ND61
<b>E-mail address (if any):</b>	<a href="mailto:bcregan@johnspainassociates.com">bcregan@johnspainassociates.com</a>
<b>Primary Telephone Number:</b>	087 7851900
<b>Other / Mobile Number (if any):</b>	



**Person responsible for preparation of maps, plans and drawings:**

<b>First Name:</b>	Lucy
<b>Surname:</b>	Riordan
<b>Address Line 1:</b>	John Flemming Architects
<b>Address Line 2:</b>	The Tree House
<b>Address Line 3:</b>	17 Richview Office Park
<b>Town / City:</b>	Clonskeagh,
<b>County:</b>	Dublin
<b>Country:</b>	Ireland
<b>Eircode:</b>	D14 XR82
<b>E-mail address (if any):</b>	lriordan@jfa.ie
<b>Primary Telephone Number:</b>	087 7851900
<b>Other / Mobile Number (if any):</b>	

**Contact for arranging entry on site, if required:**

<b>Name:</b>	Blaine Cregan
<b>Mobile Number:</b>	0877851900
<b>E-mail address:</b>	bcregan@johnspainassociates.com

**General Guidance Note:**

1. In this form, “applicant” means the person seeking the planning permission, not an agent acting on his or her behalf. Where there is more than one applicant, the details of all applicants should be inserted, as required, on the form.
2. Where the plans have been drawn up by a firm/company the name of the person primarily responsible for the preparation of the drawings and plans, on behalf of the firm/company, should be stated.
3. In this form, “planning authority” means the planning authority in whose area the proposed strategic housing development would be situated. Where the proposed development would be situated in the area of more than one planning authority, the relevant details should be supplied separately in respect of each such authority.
4. The site location map shall be drawn to a scale (which shall be indicated thereon) of not less than 1:1000 in built up areas and 1:2500 in all other areas. The draft layout plan shall be drawn to a scale (which shall be indicated thereon) of not less than 1:500, shall show buildings, roads, boundaries, septic tanks and percolation areas, bored wells, significant tree stands and other features on, adjoining or in the vicinity of the land or structure to which the application relates.
5. Gross floor space means the area ascertained by the internal measurement of the floor space on each floor of a building (including internal walls and partitions), i.e. floor areas must be measured from inside the external wall, disregarding any floor space provided for the parking of vehicles by persons occupying or using the building or buildings where such floor space is incidental to the primary purpose of the building.

6. An Environmental Impact Assessment Report (EIAR) is required to accompany an application for permission for strategic housing development of a class set out in Schedule 5 of the Planning and Development Regulations 2001-2018 which equals or exceeds, as the case may be, a limit, quantity or threshold set for that class of development. An EIAR will be required in respect of sub-threshold strategic housing development where An Bord Pleanála considers that the proposed development would be likely to have significant effects on the environment. Under section 7(1)(a)(i)(I) of the Act of 2016, a prospective applicant may request An Bord Pleanála to make an EIA screening determination in respect of a proposed strategic housing development. Where an EIAR is being submitted with an application, it must be accompanied with a copy of the confirmation notice received from the EIA portal in accordance with article 97B(2) of the permission regulations that certain information in respect of the EIAR has been entered onto the portal.
7. An appropriate assessment (AA) is required to accompany an application for permission for strategic housing development in cases where it cannot be excluded that the proposed development would have a significant effect on a European site. Under section 7(1)(a)(i)(II) of the Act of 2016, a prospective applicant may request An Bord Pleanála to carry out an AA screening in respect of a proposed strategic housing development.
8. A list of national monuments in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht is available for download from the National Monuments Service website ([www.archaeology.ie](http://www.archaeology.ie)) under “National Monuments in State Care”. A list of preservation orders is similarly available from this website (under “Monument Protection”). The relevant local authority should be contacted in relation to national monuments in its ownership or guardianship. If a proposed development affects or is close to a national monument that is in the ownership or guardianship of the Minister for Culture, Heritage and the

Gaeltacht or a local authority, or is the subject of a preservation order or a temporary preservation order, a separate statutory consent for the development is required from that Minister under the National Monuments Acts.

9. The Record of Monuments and Places (RMP), established under section 12 of the National Monuments (Amendment) Act 1994, is available for each county in the public libraries and principal local authority offices in that county. It is also available for download from the National Monuments Service website ([www.archaeology.ie](http://www.archaeology.ie)) under “Publications, Forms & Legislation”. If a proposed development affects or is close to a monument listed in the RMP, there is a separate requirement to give two months advance notice of any proposed work to the Minister for Culture, Heritage and the Gaeltacht. No work may commence within the two month period except in the case of urgent necessity and with the consent of that Minister.
10. Part V of the Planning and Development Act 2000 applies where—
  - the land is zoned for residential use or for a mixture of residential and other uses,
  - there is an objective in the Development Plan for the area for a percentage of the land to be made available for social and/or affordable housing, and
  - the proposed development is not exempt from Part V.
11. Under section 96(13) of the Planning and Development Act 2000, Part V does not apply to certain housing developments by approved voluntary housing bodies, certain conversions, the carrying out of works to an existing house or the development of houses under an agreement made under section 96 of the Act.

12. All maps, plans and drawings, should, insofar as possible, comply with articles 297 and 298 of the Planning and Development Regulations 2001 to 2017.

## **Appendices**

## **Appendix 1: Letters of Consent**

Ambasaid Limited  
Goodbody Stockbrokers  
Ballsbridge Park  
Ballsbridge  
Dublin 4  
D04 YW83

Serendale Limited  
5<sup>th</sup> Floor Embassy House  
Herbert Park Lane  
Ballsbridge  
Dublin 4  
D04 H6Y0

3rd August 2022

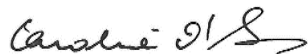
**Re: Letter of Consent**

**Application for Planning Permission at a site located to the north west corner of the Omni Park Shopping Centre, Santry and at Santry Hall Industrial Estate, Swords Road, Dublin 9 D09FX31 and D09HC84.**

Sir / Madam

We, Ambasaid Limited, owners of lands forming part of the subject application, can confirm that we grant permission to Serendale Limited to submit a planning application to An Bord Pleanala for the proposed development on the aforementioned site.

Yours faithfully



Director

Ambasaid Limited



Caltrack Limited  
5<sup>th</sup> Floor Embassy House  
Herbert Park Lane  
Ballsbridge  
Dublin 4  
D04 H6Y0

Serendale Limited  
5<sup>th</sup> Floor Embassy House  
Herbert Park Lane  
Ballsbridge  
Dublin 4  
D04 H6Y0

4<sup>th</sup> August 2022

**Re: Letter of Consent**

**Application for Planning Permission at a site located to the north west corner of the Omni Park Shopping Centre, Santry and at Santry Hall Industrial Estate, Swords Road, Dublin 9 D09FX31 and D09HC84.**

Sir / Madam

We, Caltrack Limited, owners of lands forming part of the subject application, can confirm that we grant permission to Serendale Limited to submit a planning application to An Bord Pleanala for the proposed development on the aforementioned site.

Yours faithfully



Brian Kennedy  
Caltrack Limited

MKN Investments Limited  
18 The Seapoint Building  
44/45 Clontarf Road  
Clontarf  
Dublin 3  
D03 XD77

Serendale Limited  
5<sup>th</sup> Floor Embassy House  
Herbert Park Lane  
Ballsbridge  
Dublin 4  
D04 H6Y0

4<sup>th</sup> August 2022

**Re: Letter of Consent**

**Application for Planning Permission at a site located to the north west corner of the Omni Park Shopping Centre, Santry and at Santry Hall Industrial Estate, Swords Road, Dublin 9 D09FX31 and D09HC84.**

Sir / Madam

We, MKN Investments Limited, owners of lands forming part of the subject application, can confirm that we grant permission to Serendale Limited to submit a planning application to An Bord Pleanála for the proposed development on the aforementioned site.

Yours faithfully



John McKeon  
MKN Investments Limited

## **Appendix 2: Correspondence with Irish Water**

Eoghan Deasy  
Eireng Consulting Eng  
2 Rogans Court  
Patrick Street  
Dun Laoghaire  
Co Dublin

Uisce Éireann  
Bosca OP 6000  
Baile Átha Cliath 1  
Éire

Irish Water  
PO Box 6000  
Dublin 1  
Ireland

T: +353 1 89 25000  
F: +353 1 89 25001  
[www.water.ie](http://www.water.ie)

19<sup>th</sup> August 2022

**Re:** CDS21003688 pre-connection enquiry - Subject to contract | Contract denied  
Connection for Multi/Mixed Use Development of c.457 unit(s) plus commercial  
floorspace at Lands at North west corner of Omni Park Shopping Centre, Santry Hall  
Industrial Estate, Swords Road, Dublin 9.

Dear Mr. Deasy,

Further to your recent correspondence with Irish Water on the subject forthcoming Strategic Housing Development planning application, IW would like to provide the following letter to clarify our upcoming infrastructure upgrade works in the area. Specifically, the Santry Wastewater Pump Station Upgrade project, that (on completion) would serve the subject development, subject to planning permission.

IW can confirm the following details regarding the Santry Wastewater Pump Station Upgrade project, which is presently at detailed design stage.

- The Santry Wastewater Pump Station Upgrade project is part of Irish Water's Capital Works Programme and shall be funded by Irish Water to cater for growth and development in the wider Santry area, Co Dublin.
- The upgrade works include a complete civil and M&E replacement and relocation of the pump station site. A new emergency overflow tank will also be constructed at the site. A new rising main will divert existing flows away from the current discharge point to a new connection point with the North Fringe Sewer.
- The detailed design phase has commenced, and Irish Water's programme is currently for substantial completion of such upgrade works by 2026, subject to change. All agreements and consents, as necessary to complete the works will be put in place in line with the current project timeline

If you have any further questions, please contact Paul Fuller from the design team at [PFuller@water.ie](mailto:PFuller@water.ie) For further information, visit [www.water.ie/connections](http://www.water.ie/connections).

Yours sincerely,

*Yvonne Harris*

**Yvonne Harris**  
Head of Customer Operations

Thomas Byrne

Eireng Consulting Eng  
2 Rogans Court  
Patrick Street  
Dun Laoghaire  
Co Dublin

Uisce Éireann  
Bosca OP 448  
Oifig Sheachadta na  
Cathrach Theas  
Cathair Chorcaí

Irish Water  
PO Box 448,  
South City  
Delivery Office,  
Cork City.

[www.water.ie](http://www.water.ie)

1 December 2021

**Re: CDS21003688 pre-connection enquiry - Subject to contract | Contract denied**

**Connection for Multi/Mixed Use Development of 484 unit(s) at Lands at Northwest of Omni Park Shopping Centre, Swords Road, Dublin**

Dear Sir/Madam,

Irish Water has reviewed your pre-connection enquiry in relation to a Water & Wastewater connection at Lands at Northwest of Omni Park Shopping Centre, Swords Road, Dublin (the **Premises**). Based upon the details you have provided with your pre-connection enquiry and on our desk top analysis of the capacity currently available in the Irish Water network(s) as assessed by Irish Water, we wish to advise you that your proposed connection to the Irish Water network(s) can be facilitated at this moment in time.

SERVICE	<b>OUTCOME OF PRE-CONNECTION ENQUIRY</b> <b><u>THIS IS NOT A CONNECTION OFFER. YOU MUST APPLY FOR A CONNECTION(S) TO THE IRISH WATER NETWORK(S) IF YOU WISH TO PROCEED.</u></b>
Water Connection	Feasible without infrastructure upgrade by Irish Water
Wastewater Connection	Feasible Subject to upgrades
SITE SPECIFIC COMMENTS	
Water Connection	In order to connect the development, the connection must be made to the existing 12" watermain on Swords Road. A DMA meter will need to be installed on the service connection.
Wastewater Connection	In order to accommodate the proposed connection at the Premises, upgrade works are required to increase the capacity of the Irish Water network. Irish Water currently has a project on our current investment plan which will provide the necessary upgrade and capacity. This upgrade project is scheduled to be completed by 2026 (this may be subject to change) and the proposed connection could be completed as soon as possibly practicable after this date.

Whilst every care has been taken in its compilation Irish Water gives this information as to the position of its underground network as a general guide only on the strict understanding that it is based on the best available information provided by each Local Authority in Ireland to Irish Water. Irish Water can assume no responsibility for and give no guarantees, undertakings or warranties concerning the accuracy, completeness or up to date nature of the

information provided and does not accept any liability whatsoever arising from any errors or omissions. This information should not be relied upon in the event of excavations or any other works being carried out in the vicinity of the Irish Water underground network. The onus is on the parties carrying out excavations or any other works to ensure the exact location of the Irish Water underground network is identified prior to excavations or any other works being carried out. Service connection pipes are not generally shown but their presence should be anticipated.

#### **General Notes:**

- 1) The initial assessment referred to above is carried out taking into account water demand and wastewater discharge volumes and infrastructure details on the date of the assessment. **The availability of capacity may change at any date after this assessment.**
- 2) This feedback does not constitute a contract in whole or in part to provide a connection to any Irish Water infrastructure. All feasibility assessments are subject to the constraints of the Irish Water Capital Investment Plan.
- 3) The feedback provided is subject to a Connection Agreement/contract being signed at a later date.
- 4) A Connection Agreement will be required to commencing the connection works associated with the enquiry this can be applied for at <https://www.water.ie/connections/get-connected/>
- 5) A Connection Agreement cannot be issued until all statutory approvals are successfully in place.
- 6) Irish Water Connection Policy/ Charges can be found at <https://www.water.ie/connections/information/connection-charges/>
- 7) Please note the Confirmation of Feasibility does not extend to your fire flow requirements.
- 8) Irish Water is not responsible for the management or disposal of storm water or ground waters. You are advised to contact the relevant Local Authority to discuss the management or disposal of proposed storm water or ground water discharges
- 9) To access Irish Water Maps email [datarequests@water.ie](mailto:datarequests@water.ie)
- 10) All works to the Irish Water infrastructure, including works in the Public Space, shall have to be carried out by Irish Water.

If you have any further questions, please contact Paul Fuller from the design team on (087) 718-6226 or email [PFuller@water.ie](mailto:PFuller@water.ie) For further information, visit **[www.water.ie/connections](https://www.water.ie/connections)**.

Yours sincerely,



**Yvonne Harris**

**Head of Customer Operations**



Thomas Byrne  
Eireng Consulting Eng  
2 Rogans Court  
Patrick Street  
Dun Laoghaire, Co Dublin

Uisce Éireann  
Bosca OP 448  
Oifig Sheachadta na  
Cathrach Theas  
Cathair Chorcaí

Irish Water  
PO Box 448,  
South City  
Delivery Office,  
Cork City.

[www.water.ie](http://www.water.ie)

7 July 2022

**Re: Design Submission for Lands at Northwest of Omni Park Shopping Centre, Swords Road, Dublin (the “Development”) (the “Design Submission”) / Connection Reference No: CDS21003688**

Dear Thomas Byrne,

Many thanks for your recent Design Submission.

We have reviewed your proposal for the connection(s) at the Development. Based on the information provided, which included the documents outlined in Appendix A to this letter, Irish Water has no objection to your proposals.

This letter does not constitute an offer, in whole or in part, to provide a connection to any Irish Water infrastructure. Before you can connect to our network you must sign a connection agreement with Irish Water. This can be applied for by completing the connection application form at [www.water.ie/connections](http://www.water.ie/connections). Irish Water's current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Regulation of Utilities (CRU) ([https://www.cru.ie/document\\_group/irish-waters-water-charges-plan-2018/](https://www.cru.ie/document_group/irish-waters-water-charges-plan-2018/)).

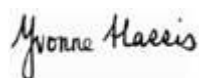
You the Customer (including any designers/contractors or other related parties appointed by you) is entirely responsible for the design and construction of all water and/or wastewater infrastructure within the Development which is necessary to facilitate connection(s) from the boundary of the Development to Irish Water's network(s) (the “**Self-Lay Works**”), as reflected in your Design Submission. Acceptance of the Design Submission by Irish Water does not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

If you have any further questions, please contact your Irish Water representative:

Name: Dario Alvarez

Email: [dalvarez@water.ie](mailto:dalvarez@water.ie)

Yours sincerely,



**Yvonne Harris**  
**Head of Customer Operations**

## Appendix A

### Document Title & Revision

- 201121-C1010-Proposed Watermain Layout
- 201121-C1000-Proposed Foul Water Drainage Layout
- 201121-C1001-Longitudinal Sections Sheet 1
- 201121-C1002-Longitudinal Sections Sheet 2
- 201121-C1003-Proposed Basement Drainage Layout

### Standard Details/Code of Practice Exemption:

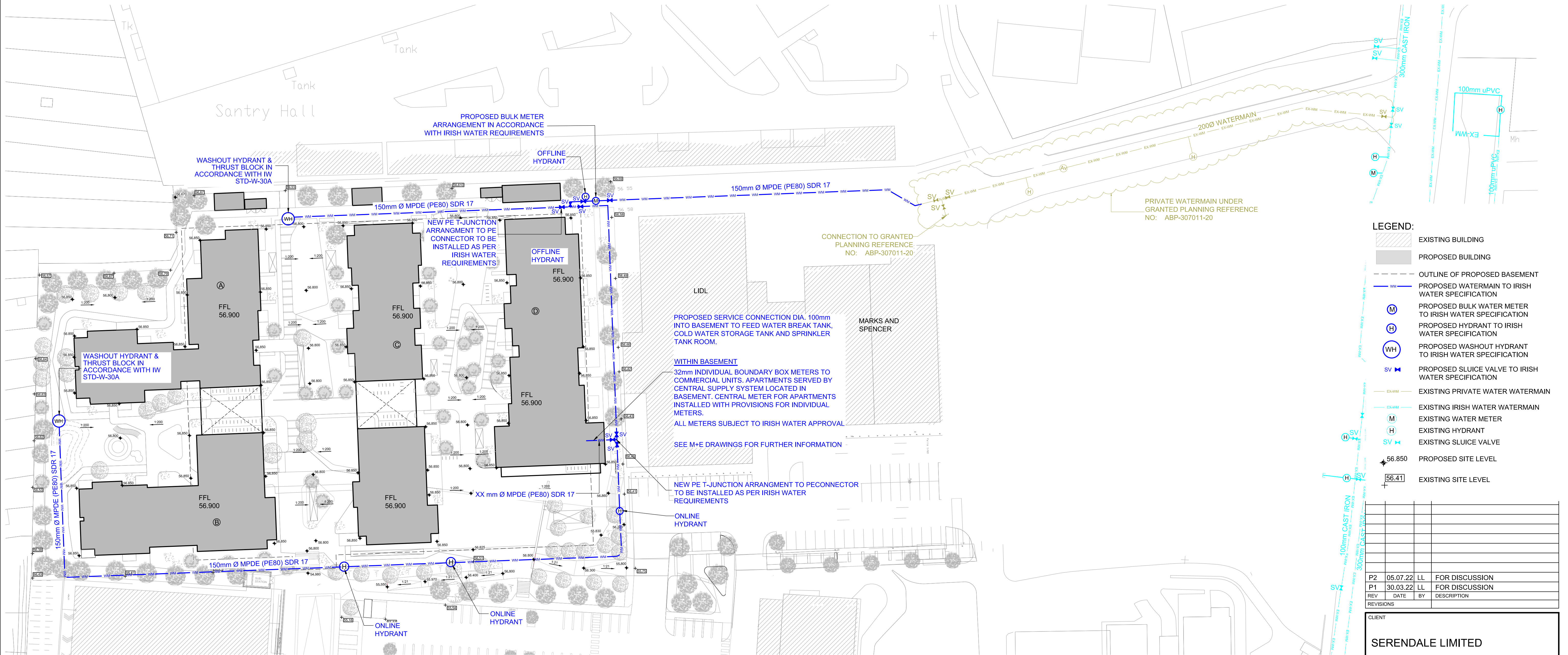
*While Irish Water notes that the water and wastewater services infrastructure will remain private and not be vested, we have the following comments:*

- *It is recommended that the watermain is laid within 3 m of the proposed structure (between the basement and the substation).*

For further information, visit [www.water.ie/connections](http://www.water.ie/connections)

Notwithstanding any matters listed above, the Customer (including any appointed designers/contractors, etc.) is entirely responsible for the design and construction of the Self-Lay Works. Acceptance of the Design Submission by Irish Water will not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.





*Figured dimension only to be taken from this drawing. All dimensions to be checked on site. Consultants to be informed immediately of any discrepancies before work proceeds.*

1. If this drawing has been received electronically it is the recipients responsibility to print the document to the correct scale.
2. All dimensions are in (m) unless otherwise noted.
3. All levels are in meters above datum unless otherwise noted
4. This drawing is to be read in conjunction with all the relevant Engineers', Services Engineers, Manufacturers & Architects drawings and specifications.

EXISTING BUILDING

PROPOSED BUILDING

- | OUTLINE OF PROPOSED BASEMENT |  |
|------------------------------|--|
| WM                           | PROPOSED WATERMAIN TO IRISH WATER SPECIFICATION        |
| M                            | PROPOSED BULK WATER METER TO IRISH WATER SPECIFICATION |
| H                            | PROPOSED HYDRANT TO IRISH WATER SPECIFICATION          |
| WH                           | PROPOSED WASHOUT HYDRANT TO IRISH WATER SPECIFICATION  |
| SV                           | PROPOSED SLUICE VALVE TO IRISH WATER SPECIFICATION     |
| EXWM                         | EXISTING PRIVATE WATER WATERMAIN                       |
| EXWM                         | EXISTING IRISH WATER WATERMAIN                         |
| M                            | EXISTING WATER METER                                   |
| H                            | EXISTING HYDRANT                                       |
| SV                           | EXISTING SLUICE VALVE                                  |
| 56.850                       | PROPOSED SITE LEVEL                                    |
| 56.41                        | EXISTING SITE LEVEL                                    |

P2	05.07.22	LL	FOR DISCUSSION
P1	30.03.22	LL	FOR DISCUSSION
REV	DATE	BY	DESCRIPTION
REVISIONS			

**CLIENT**

SERENDALE LIMITED

PROJECT TITLE

## MIXED USE DEVELOPMENT

SITE LOCATED TO THE NORTH WEST CORNER OF THE OMNI PARK SHOPPING CENTRE, SANTRY AND AT SANTRY HALL INDUSTRIAL ESTATE.

DRAWING TITLE

## PROPOSED WATERMAIN LAYOUT



2 Rogan's Court, Dun Laoghaire, Co.Dublin, Ireland.  
Tel: +353 1 6638957 Email: [info@eireng.ie](mailto:info@eireng.ie)

DRAWN BY L Lonergan		DATE 25.06.2021
ENG CHECK T Byrne		DATE 25.06.2021
APPROVED E Deasy		DATE 25.06.2021
SCALE 1:500		SHEET A1
STATUS PRELIMINARY		
JOB NO. 201121	DWG NO. C1010	REVISION P2

EIRENG CONSULT ENG Ltd.  
ORDNANCE SURVEY IRELAND  
LICENCE NO. EN0073622 ©  
ORDNANCE SURVEY IRELAND

- WATERMAIN NOTES:**
- 1/ ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE NOTED.  
CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING OUT  
JUNCTION BOXES, CHAMBERS, MANHOLES, GULLIES TO  
ENSURE NO CLASHES WITH SERVICE DUCTS AND PIPES.
  - 2/ ALL LEVELS ARE IN METRES ABOVE DATUM UNLESS  
OTHERWISE NOTED.
  - 3/ THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH  
ALL RELEVANT ARCHITECT'S, ENGINEER'S AND  
MANUFACTURER'S DRAWINGS AND SPECIFICATIONS
  - 4/ ALL PIPE DIAMETERS ARE NOMINAL.
  - 5/ THE CONTRACTOR MUST CONTACT THE RELEVANT  
AUTHORITIES PRIOR TO CONSTRUCTION WORK,  
AND SATISFY HIMSELF IN RESPECT TO THE LOCATION OF  
ALL EXISTING SERVICES.
  - 6/ ALL ROCKER PIPES SHALL BE NO MORE THAN 150mm  
FROM THEIR ASSOCIATED MANHOLE, PUMPING STATION,  
CONCRETE ENCASED SECTION OR VALVE CHAMBER.
  - 7/ WHERE PIPE RUNS PASS UNDER FOUNDATIONS, PIPE  
TRENCH TO BE BACKFILLED TO FORMATION LEVEL WITH  
CLASS 15/20 CONCRETE.
  - 8/ PROVIDE ANCHOR/THRUST BLOCKS ON ALL BENDS EQUAL  
TO OR IN EXCESS OF 22.5°. DEAD ENDS AND TEES ON ALL  
PIPES. ANCHOR/THRUST BLOCKS TO BE IN ACCORDANCE  
WITH SECTION 4.6 OF IRISH WATER CODE OF PRACTICE.
  - 9/ FIRE HYDRANT LOCATIONS TO BE CONFIRMED WITH FIRE  
OFFICER AND DETAILED TO COMPLY WITH FIRE  
CERTIFICATE.

- 10/ FURTHER INVESTIGATION TO BE CARRIED OUT ON SITE TO TRACE AND LOCATE EXISTING WATER MAIN. LAYOUT AS DETAILED TO BE CONSIDERED INDICATIVE.
- 11/ ALL EXISTING HYDRANTS WILL BE RELOCATED OUTSIDE PARKING BAYS AND LOCATED IN ACCORDANCE WITH THE BUILDING REGULATIONS TECHNICAL GUIDANCE DOCUMENT B.

NOTES:

ALL WATERMAIN CONNECTIONS SHOWN INDICATIVELY ONLY. EXACT CONNECTION TO BE DETERMINED DURING IRISH WATER CONNECTION APPLICATION.

ALL WATERMAIN WORKS TO BE IN ACCORDANCE WITH  
IRISH WATER CODE OF PRACTICE FOR WATER SUPPLY  
AND ASSOCIATED STANDARD DETAILS

NOTES:

FINAL FIRE STRATEGY AND SERVICE CONNECTIONS  
BE CONFIRMED DURING DETAILED DESIGN.

FINAL LOCATION AND NUMBER OF FIRE HYDRANTS TO BE  
IN ACCORDANCE WITH THE REQUIREMENT OF THE  
BUILDING REGULATIONS PART B

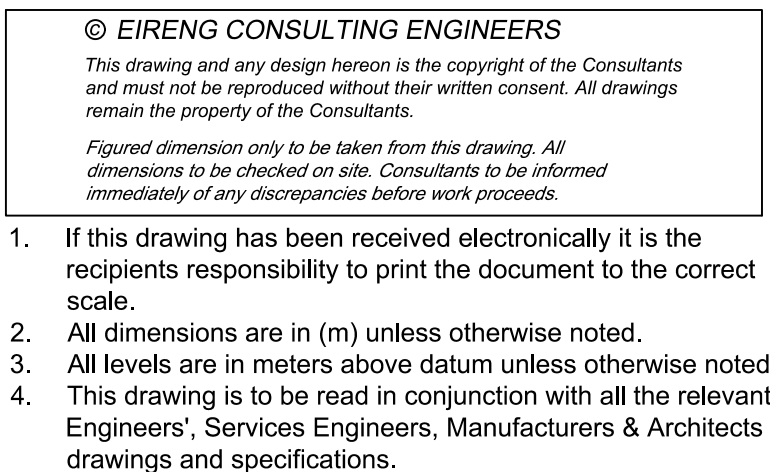
**NOTE:**

THE PROPOSED DEVELOPMENT CONSISTS OF 480 APARTMENT UNITS.

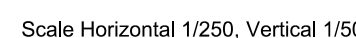








Scale Horizontal 1/250, Vertical 1/50



P2	05.07.22	LL	FOR DISCUSSION
P1	30.03.22	LL	FOR DISCUSSION
REV	DATE	BY	DESCRIPTION
REVISIONS			

CLIENT \_\_\_\_\_

SERENDALE LIMITED

PROJECT TITLE

**MIXED USE DEVELOPMENT**

SITE LOCATED TO THE NORTH WEST CORNER OF THE OMNI PARK SHOPPING CENTRE, SANTRY AND AT SANTRY HALL INDUSTRIAL ESTATE.

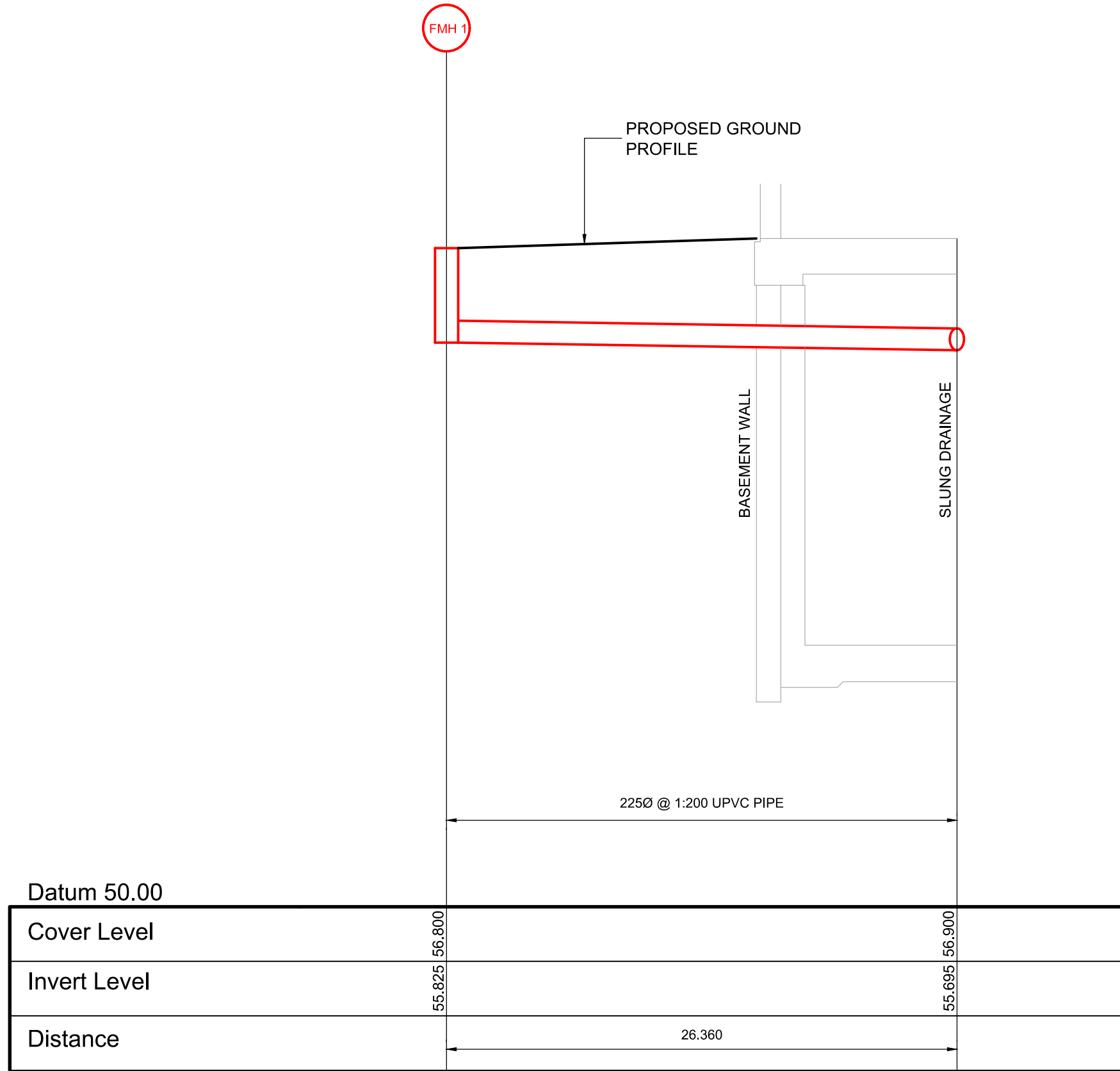
DRAWING TITLE

LONGITUDINAL SECTIONS SHEET 1



2 Rogan's Court, Dun Laoghaire, Co.Dublin, Ireland  
Tel: +353 1 6638957 Email: [info@eireng.ie](mailto:info@eireng.ie)

DRAWN BY L Lonergan		DATE 04.02.2022
ENG CHECK T Byrne		DATE 04.02.2022
APPROVED E Deasy		DATE 04.02.2022
SCALE		SHEET A1
STATUS PRELIMINARY		
JOB NO. 201121	DWG NO. C1001	REVISION P2



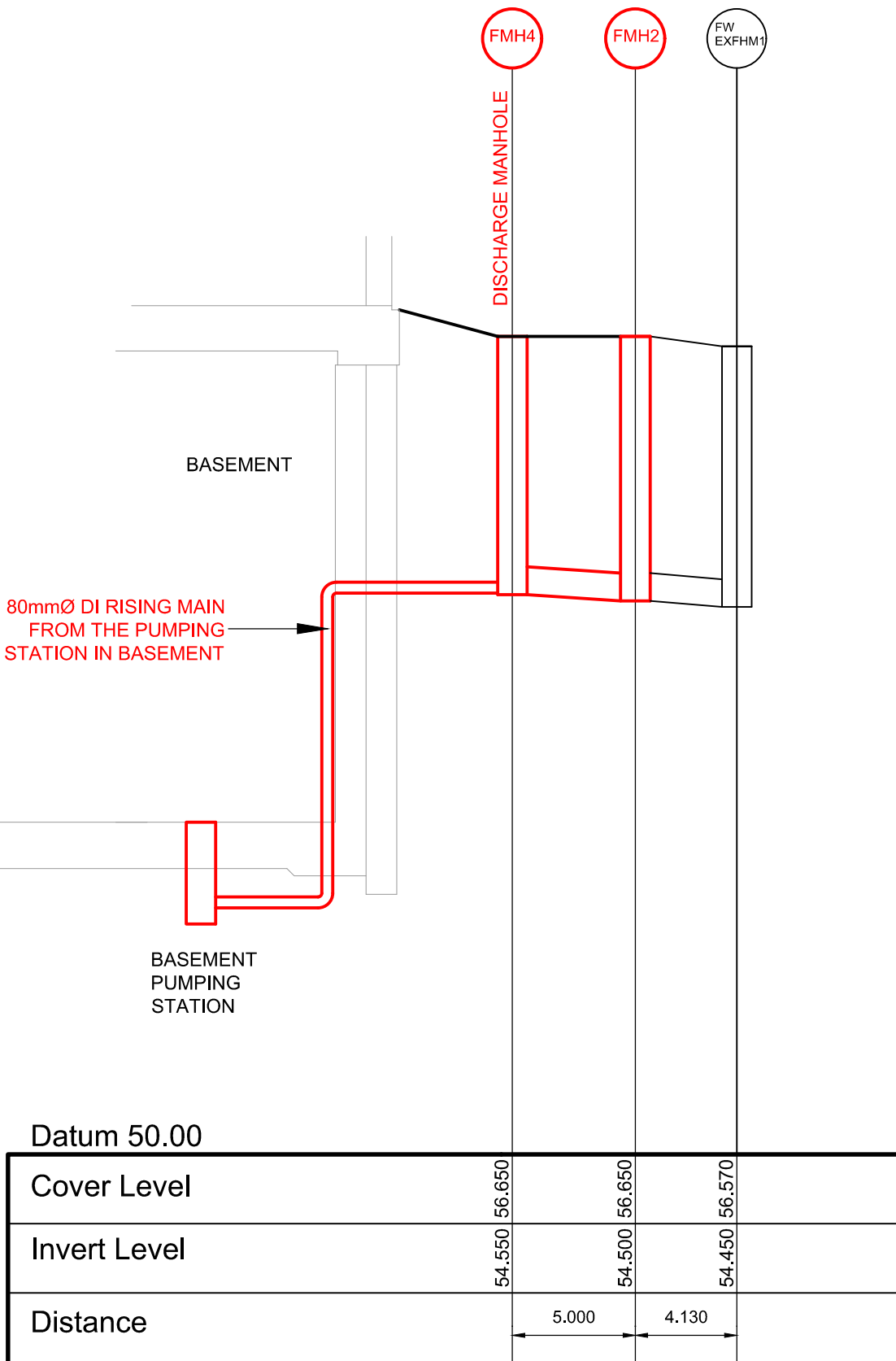
FOUL LONGITUDINAL SECTION FMH 1 TO SLUNG DRAINAGE

Scale Horizontal 1/250, Vertical 1/50



FOUL LONGITUDINAL SECTION FMH 3 TO SLUNG DRAINAGE

Scale Horizontal 1/250, Vertical 1/50



FOUL RISING MAIN LONGITUDINAL BASEMENT TO EX FMH 1

Scale Horizontal 1/250, Vertical 1/50

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Figured dimension only to be taken from this drawing. All dimensions to be checked on site. Consultants to be informed immediately of any discrepancies before work proceeds.

1. If this drawing has been received electronically it is the recipients responsibility to print the document to the correct scale.
2. All dimensions are in (m) unless otherwise noted.
3. All levels are in meters above datum unless otherwise noted.
4. This drawing is to be read in conjunction with all the relevant Engineers', Services Engineers, Manufacturers & Architects drawings and specifications.

P2	05.07.22	LL	FOR DISCUSSION
P1	30.03.22	LL	FOR DISCUSSION
REV	DATE	BY	DESCRIPTION
REVISIONS			

CLIENT
SERENDALE LIMITED
PROJECT TITLE
MIXED USE DEVELOPMENT
SITE LOCATED TO THE NORTH WEST CORNER OF THE OMNI PARK SHOPPING CENTRE, SANTRY AND AT SANTRY HALL INDUSTRIAL ESTATE.
DRAWING TITLE
LONGITUDINAL SECTIONS SHEET 2


eireng

CONSULTING ENGINEERS

2 Rogan's Court, Dun Laoghaire, Co.Dublin, Ireland.  
Tel: +353 1 6638957 Email: info@eireng.ie

DRAWN BY	L Loneragan	DATE	04.02.2022
ENG CHECK	T Byrne	DATE	04.02.2022
APPROVED	E Deasy	DATE	04.02.2022
SCALE	AS SHOWN	SHEET	A1
STATUS			
PRELIMINARY			
JOB NO.	201121	DWG NO.	C1002
		REVISION	P2





**EIRENG**

**CONSULTING ENGINEERS**

2 Rogan's Court, Dun Laoghaire, Co.Dublin, Ireland.

Tel: +353 1 6638957      Email: [info@eireng.ie](mailto:info@eireng.ie)

DRAWN BY	DATE	
L Loneragan	25.06.2021	
ENG CHECK	DATE	
T Byrne	25.06.2021	
APPROVED	DATE	
E Deasy	25.06.2021	
SCALE	SHEET	
1:250	A1	
STATUS		
<p style="font-size: 24px; margin: 0;"><b>PRELIMINARY</b></p>		
JOB NO.	DWG NO.	REVISION
201121	C1003	P1



27.06.2022

To whom it may concern,  
Irish Water

**RE: Development at Molloy and Sherry Site, OMNI Park, Santry, Dublin 9**

This letter is to confirm that where the proposed watermain passes within 3 metres of proposed or existing trees that the Irish Water standards in relation to the construction of watermain in proximity to existing and proposed trees will be adhered to, namely:

Water Infrastructure Standard Details  
Code of Practice for Water Infrastructure

Yours sincerely,



---

**John Ward, Director**

*For & on behalf of Murray & Associates*

---

murray & associates  
landscape architecture

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e: [mail@murray-associates.com](mailto:mail@murray-associates.com)  
[www.murray-associates.com](http://www.murray-associates.com)



### **Appendix 3: EIAR Portal Confirmation**

## Blaine Cregan

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**From:** Housing Eiaportal <EIAportal@housing.gov.ie>  
**Sent:** Tuesday 23 August 2022 08:58  
**To:** Blaine Cregan  
**Subject:** EIA Portal Confirmation Notice Portal ID 2022158

Dear Blaine

An EIA Portal notification was received on 22/08/2022 in respect of this proposed application. The information provided has been uploaded to the EIA Portal on 23/08/2022 under EIA Portal ID number **2022158** and is available to view at

<http://housinggovie.maps.arcgis.com/apps/webappviewer/index.html?id=d7d5a3d48f104ecbb206e7e5f84b71f1>.

**Portal ID:** 2022158

**Competent Authority:** An Bord Pleanála

**Applicant Name:** Serendale Limited

**Location:** Site located primarily to the north west corner of Omni Park Shopping Centre, Santry and at Santry Hall Industrial Estate, Swords Road, Dublin 9 D09FX31 and D09HC84

**Description:** 457 apartments in 4 no. blocks ranging in height from 4-12 storeys with 2 no. retail/cafe/restaurant units, 1 no. childcare facility, 1 no. community facility and all associated development

**Linear Development:** No

**Date Uploaded to Portal:** 23/08/2022

Regards  
Grace

EIA Portal team

---

**An Roinn Tithíochta, Rialtais Áitiúil agus Oidhreachta**  
Department of Housing, Local Government and Heritage

**Teach an Chustaim, Baile Átha Cliath 1, D01 W6X0**  
Custom House, Dublin 1, D01 W6X0

---

T +353 (0) 1 888 2000

[www.gov.ie/housing](http://www.gov.ie/housing)



**An Roinn Tithíochta,  
Rialtais Áitiúil agus Oidhreachta**  
Department of Housing,  
Local Government and Heritage

---

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## Appendix 4: IAA Correspondence

**Irish Aviation Authority**  
The Times Building  
11–12 D'Olier Street  
Dublin 2, D02 T449  
Ireland

**Údarás Eitlíochta na hÉireann**  
*Foirgneamh na hAmanna*  
11–12 Sráid D'Olier  
Baile Átha Cliath 2, D02 T449,  
Éire

T: +353 1 671 8655  
F: +353 1 679 2934  
www.iaa.ie



**Operations**  
Directorate

**An Stiúirtheacht**  
**Oibríochtaí**

**Mr. David Ferguson**  
**John Spain Associates,**  
**39 Fitzwilliam Place,**  
**Dublin 2.**  
**D02 ND61**

**Ref: Omni Plaza SHD (Santry Dublin)**

Dear David and to whom it may concern,

In relation to the above referenced project, in my capacity as IAA Air Navigation Service Provider (ANSP), Manager Airspace and Navigation I am writing to address the ANSP responsibilities for safeguarding of the Instrument Flight Procedures (IFPs) surfaces at Dublin Airport.

I have reviewed the planning drawings supplied on behalf of the developer and note that the highest Above Mean Sea Level (AMSL) elevation for the completed buildings will be 98.025m AMSL. This value falls below the IFP safeguarding elevation we apply for this area of 106m and therefore is not a concern for the IAA ANSP. Equally, the Obstacle Limitation Surface (OLS) for which daa (copied), are responsible for safeguarding, should be unaffected, being below 112m AMSL.

However, taking likely construction craneage required during construction, both the IFP and the OLS surfaces are likely to be infringed. Therefore, an IFP/OLS assessment is needed to conform that these surfaces are unaffected, or that mitigations needed do not impact Dublin Airport operations. While I would anticipate that this will be the case, this report is required, prior to commencement of construction, to satisfy Safeguarding Regulatory requirements.

I will separately supply you with details of an appropriate IFP Design Organisation who can undertake this assessment.

I may be contacted for any clarifications as required:

Email: [cathal.maccristail@iaa.ie](mailto:cathal.maccristail@iaa.ie)  
Mobile: 086 0527130

Yours sincerely,

---

Cathal Mac Criostail  
IAA Manager Airspace and Navigation  
**25<sup>th</sup> August 2022**

**cc. Paul Cumiskey; Gary Mackin(daa); IAA Planning**

**Bord Stiúrthóirí/Board of Directors**  
Rose Hynes (Cathaoirleach/Chairman),  
Peter Kearney (Príomhfhéidhmeannach/Chief Executive)  
Cian Blackwell, Marie Bradley, Ernie Donnelly,  
Gerry Lumsden, Joan McGrath, Diarmuid Ó Conghaile,  
Eimer O'Rourke

**Oifig Chláraithe:**  
*Foirgneamh na hAmanna, 11-12 Sráid D'Olier*  
*Baile Átha Cliath 2, D02 T449, Éire*  
*Uimhir Chláraithe: 211082. Áit Chláraithe: Éire*  
*Cuideachta Dlíteanais Theoranta*

**Registered Office:**  
The Times Building, 11-12 D'Olier Street  
Dublin 2, D02 T449, Ireland  
Registered No. 211082. Registered in Ireland  
A Limited Liability Company